



City of Santa Barbara California

STAFF HEARING OFFICER STAFF REPORT

REPORT DATE: October 4, 2006
AGENDA DATE: October 11, 2006
PROJECT ADDRESS: 9 Skyline Circle (MST2006-00519)
TO: Staff Hearing Officer
FROM: Planning Division, (805) 564-5470
 Danny Kato, Zoning & Enforcement Supervisor *DJK*
 Brenda Beltz, Planning Technician *BEB*

I. PROJECT DESCRIPTION

The 4,800 square foot project site is currently developed with a 951 square foot single family residence and detached one-car garage. The proposed project involves a remodel and 155 square foot first floor addition. The discretionary application required for this project is a Modification to permit the addition to reduce the required 1,250 square foot open yard area (SBMC §28.15.060).

Date Application Accepted: September 13, 2006 Date Action Required: December 13, 2006

II. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant: Sophie Calvin	Property Owner: Eloise Reyes
Parcel Number: 041-173-007	Lot Area: 4817 s.f.
General Plan: 3 Units Per Acre	Zoning: E-1
Existing Use: Residential	Topography: 14%
Adjacent Land Uses:	
North - Residential	East - Residential
South - Residential	West - Residential

B. PROJECT STATISTICS

	Existing	Proposed
Living Area	951 s.f.	1,106 s.f.
Garage	294s.f.	294 s.f.
Accessory Space	0s.f.	0 s.f.

C. LOT AREA COVERAGE

	Amount	Percentage
Building	1,473 s.f.	31 %
Paving/Driveway	628 s.f.	12 %
Landscaping	2,716 s.f.	57 %
Total Lot Area	4,817 s.f.	100%

III. DISCUSSION

The existing one-story single family residence is approximately 951 square feet with two bedrooms and one bathroom. The proposed one-story addition is modest in size and will enhance the residence with an additional bathroom and laundry area. The 4,917 square foot lot is small in size for the E-1 zone which by current standards has a minimum lot area of 15,000 square feet. The E-1 zone has large setbacks of 30 feet in the front yard and 10 feet in the interior yards and this proposal will meet all the setback requirements. The requirement for open yard in the single family zone is 1,250 square feet, and the proposed project will reduce the open yard area to 864 square feet. The parcel is constrained by the small size of the lot and a wide front yard with a narrow backyard created by the trapezoidal shape of the lot.

IV. RECOMMENDATION/FINDING

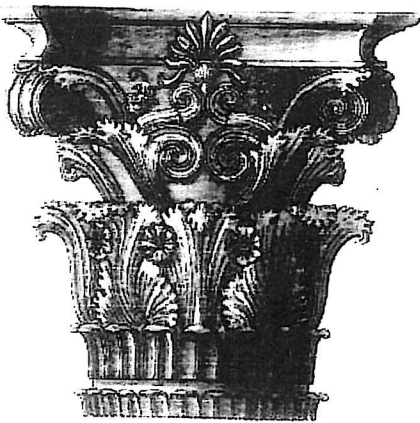
Given the site constraints described above, Staff recommends that the Staff Hearing Officer approve the project, making the findings that the Modification is consistent with the purposes and intent of the Zoning Ordinance; and necessary to secure an appropriate improvement on the lot.

Said action is subject to the condition that all hedges are brought into compliance with zoning height regulations and the unpermitted trellis is to be removed from the setbacks.

Exhibits:

- A. Site Plan
- B. Applicant's letter, dated August 15, 2006

Contact/Case Planner: Brenda Beltz, Planning Technician
(bbeltz@SantaBarbaraCA.gov)
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Phone: (805)564-5470



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August 15, 2006

Modification Hearing officer
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

Re: 9 Skyline Circle

Dear Roxanne Milazzo,

My clients are requesting a modification for the property at **9 Skyline Circle**. This property has an existing single-story, single-family residence, attached covered front porch, and a detached one-car garage. The property is zoned E-1. The parcel size is approximately 0.11 acres (4,917.39 sq. ft.). The existing residence is approximately 951 sq. ft. (net) and existing garage 300 sq. ft. (net).

My clients are proposing an addition of 155 sq. feet (net) with a 220 sq. ft. interior remodel. We are requesting a modification for a reduced open yard space (1,250 sq. ft. required). The proposed open yard space is approximately 864 sq. ft.

Our justification of these modifications are as listed;

1. The original parcel and structure built in 1948 has consistently had deficit of open yard space. The proposed project would maintain 2492 sq. ft. of landscaping, 52% of the site.
2. The house is situated on the center of the site to avoid the steep front yard slope and therefore limiting the open yard space in the rear.
3. The existing house consists of two bedrooms and one bath. The proposed 155 sq. ft. addition of one three-quarter bath and laundry room will help to bring the home up to today's residential and real estate standards.
4. The addition will strengthen the connection of indoor and outdoor living, increase natural light, and improve the functionality of the home. Most importantly, the modest addition will have no visual impact on neighboring properties.

Please contact me if you have any concerns or questions.

Yours truly,



Sophie Calvin
Calvin Design

EXHIBIT B